



BY-LAW NO. 2023-XXXX

A By-law to amend Zoning By-law 2010 0050, as amended by By-law 2023-XXXX, for the lands described as Part of Lot 19 9 ESQ Concession 9 207755 Town of Halton Hills, Regional Municipality of Halton.

WHEREAS Council is empowered to enact this By-law by virtue under the provisions of Sections 34, 36 and 27 of the Planning Act, R.S.O, 1990;

AND WHEREAS on ____, Council for the Town of Halton Hills approved Report No. PD-2023-XXXX, dated ____, in which certain recommendations were made relating to amending Zoning By-law 2010-0050;

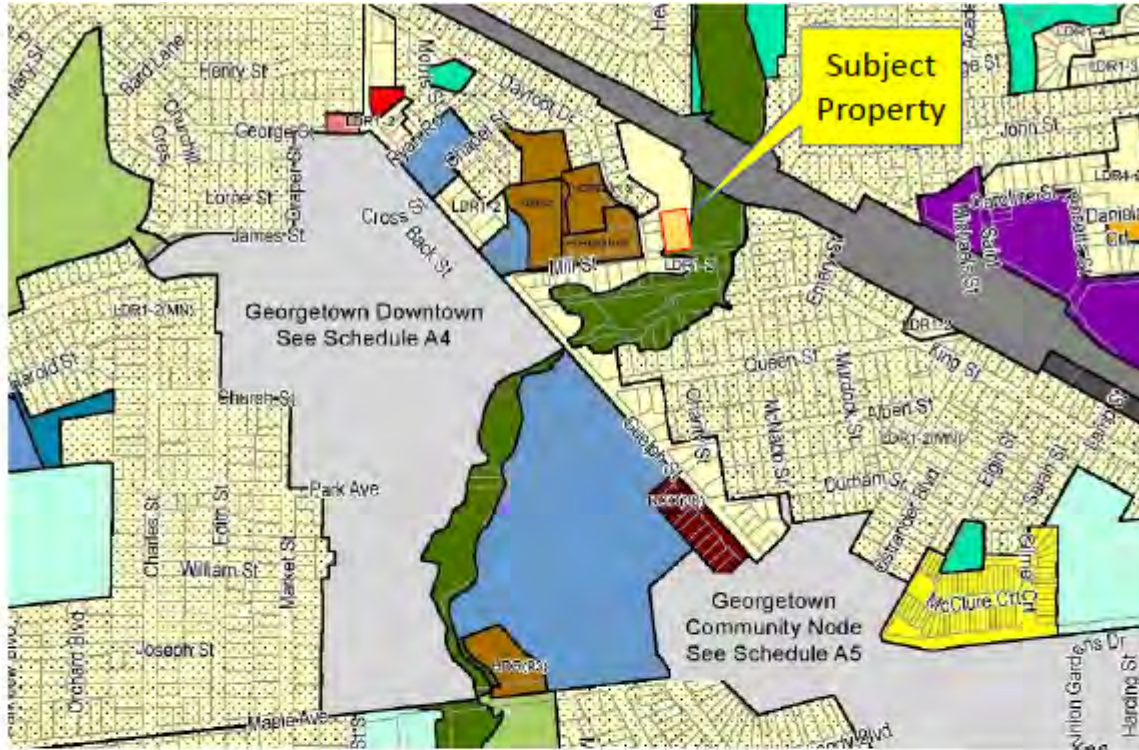
AND WHEREAS said recommendation will conform to the Official Plan for the Town of Halton Hills;

NOW THEREFORE, BE IT RESOLVED THAT THE COUNCIL OF THE CORPORATION OF THE TOWN OF HALTON HILLS ENACTS AS FOLLOWS:

1. That Schedule A3-1 of Zoning By-law 2010-0050, as amended, is hereby further amended by rezoning the lands municipally known as 16-18 Mill Street, Town of Halton Hills (Georgetown), from Low Density Residential One (LDR1-2) & Environmental Protection One (EP1) to Medium Density Residential Two (MDR2-Special) as shown on Schedule 1 attached to and forming part of this B-Law.
2. That Table 2.1: Exceptions of Zoning By-law 2010-0050 is hereby further amended by amending the Special Provisions contained in Schedule 2 attached to and forming part of this By-Law.

BY-LAW read and passed by the council for the Town of Halton Hills this _____

Schedule 1 to By-law 2023-XXXX



- | | | |
|--------------------------------------|-----------------------------------|--|
| Low Density Residential One, LDR1 | Environmental Protection One, EP1 | Development, D |
| Low Density Residential Two, LDR2 | Environmental Protection Two, EP2 | Downtown Commercial Two, DC2 |
| Medium Density Residential One, MDR1 | Open Space One, OS1 | Local Commercial, LC |
| Medium Density Residential Two, MDR2 | Open Space Two, OS2 | Residential Commercial, RC0 |
| High Density Residential, HDR | Open Space Three, OS3 | Transportation, T |
| Institutional, I | Open Space Four, OS4 | Lands Subject to By-law 57-91 as Amended |
| | | Low Density Residential One Mature Neighbourhood, LDR1(MN) |

Subject Property – Lands to be Rezoned MDR2 - special

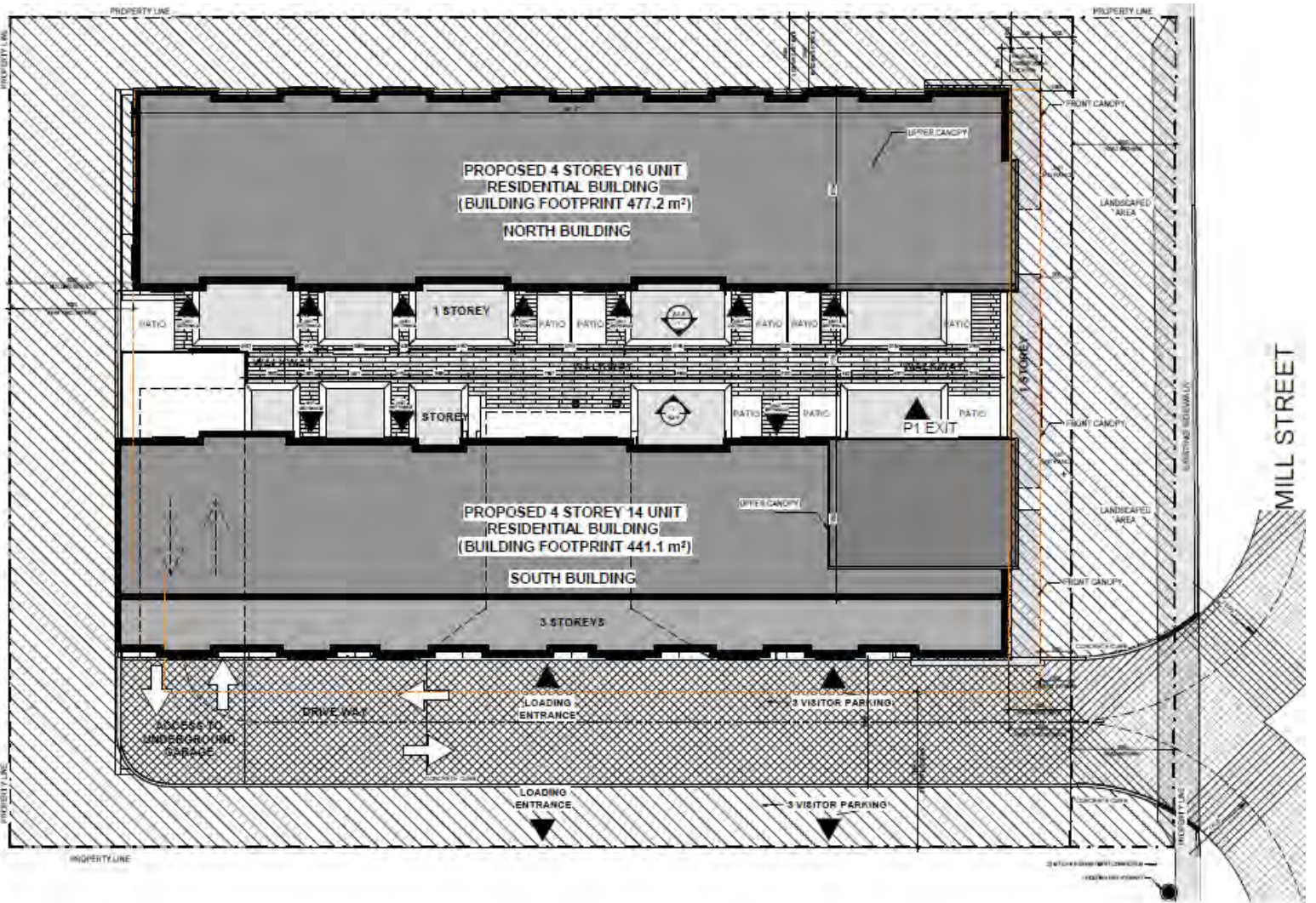
EXCERPT FROM
SCHEDULE A3-1
GEORGETOWN
TO ZONING BY-LAW 2010-0050

Schedule 2 to By-law 2023-XXXX

2.1 EXCEPTIONS

1	2	3	4
Exception Number	Zone	Municipal address	Special Provisions
Special (XX)	MDR2	16-18 Mill Street (Part of Lot 19 9 ESQ Concession 9 207755)	<ul style="list-style-type: none"> (i) All lands within this zone are deemed to be one lot for the purposes of this By-law; (ii) All setback and density requirements are calculated after any dedications to the municipality for a road widening; (iii) Minimum required setback from a building for parking spaces located on ground floor – 0 metres; (iv) Minimum required front yard setback – 2.9 metres (1.5 metres to a canopy); (v) Minimum required north side yard setback – 3.5 metres; (vi) Maximum height – 14.1 metres; (vii) Minimum required number of parking spaces for ‘multiple unit buildings’ constructed over a ‘common parking garage’ shall be provided at a rate of 1.5 spaces per dwelling unit plus 0.3 visitor spaces per unit. (viii) Maximum number of dwelling units permitted shall not exceed 146 units per 1.0 hectare of lot area;

Schedule 3 to By-law 2023-XXXX



1 SITE PLAN
1/25

The Table below has been provided to assist with Staff review and shall not be included in By-Law 2023-XXXX

Zoning By-Law Amendment By-Law 210-0050	Existing 'LDR1-2' and 'EP1'	Required 'MDR2' (Multiple Dwellings)	Proposed 'MDR2 Special' (Multiple Dwellings)
Parking Area Location in Relation to Buildings and Structures (5.2.19)		Min. 1.2 m setback required in between parking areas and building	Min. required setback from a building for parking spaces located on ground floor shall be 0
Min. Front Yard (Table 6.4)		4.5 m	7.9 m (pre-road widening) 2.9 m (post-road widening)
Encroachment into Front Yard (4.8 a i)		Max. 2.5 m into the Required Front Yard and no closer than 1.5 m to the Front Lot Line	Canopies can be no closer than 1.5 m to the Front Lot Line
Min. Rear Yard (Table 6.4)		4.5 m	6.0 m
Min. Int. Side Yard (Table 6.4)		4.5 m	3.5 m (north) 9.18 m (south)
Max. Height (Table 6.4)		11 m	14.1 m
Min. Lot Frontage Special Provision 4. (Table 6.4)		The max. number of dwelling units permitted shall not exceed 50 units per 1.0 hectare of lot area	133 units/hectare (pre-road widening) 146 units/hectare (post-road widening)
Min. Parking Spaces (Table 5.2)		Min. required number of parking spaces for 'multiple unit buildings' shall be provided at a rate of 2 spaces per dwelling unit plus 0.3 visitor spaces per unit = 69	Min. required number of parking spaces for 'multiple unit buildings' constructed over a 'common parking garage' shall be provided at a rate of 1.5 spaces per dwelling unit plus 0.25 visitor spaces per unit (same as apartments) = 53 Proposed: 61 spaces (includes 8 visitor spaces)
Barrier-Free Parking	Multiple Dwellings	4	4 (included in total parking count)